



Carolina Quality Home Inspection
416 Lakeview Dr
Laurens, SC 29360

CAROLINA QUALITY
— HOME INSPECTION —
InterNACHI-Certified



123 Any St
Simpsonville, SC 29681

SAMPLE REPORT

Safety Summary

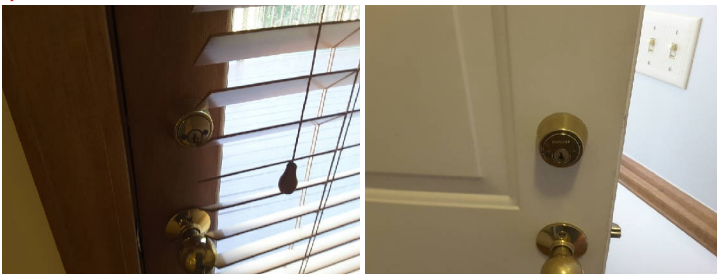
This summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report. Safety issues need corrected ASAP.

Exterior

1. Railings: Wood=== Handrails missing (Safety), Spacing more than 4 inches apart could allow an adult, small child or pet to fall through, A qualified contractor is recommended to evaluate and estimate repairs

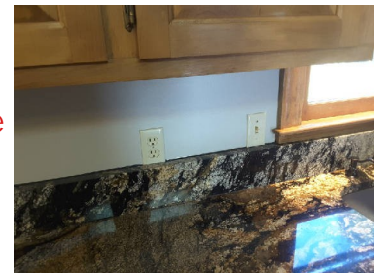


2. Exterior Doors: Wood, Vinyl Sliding=== Exterior doors should not have deadbolt key locks on inside, A qualified contractor is recommended to evaluate and estimate repairs



Electrical

3. GFCI: GFCI reset in breaker box, None present=== GFCI not present Kitchen, Recommended GFCI's within 6 feet of water, GFCI's are recommended according to today's standards, A licensed electrician is recommended to evaluate and estimate repairs, Bathroom GFCI are Functional at the time of inspection



4. Smoke Detectors: Battery operated=== The smoke detectors are needed in the bedrooms. Without a working smoke detector in your home you have no first alert to a possible fire, Test all smoke detectors/batteries prior to moving in
5. Carbon Monoxide Detectors: None present=== There is no carbon monoxide detector found in home. It is recommended that one be installed according to the manufacturer's instructions.

Safety Summary (Continued)

Interior

6. Windows: Double Pane Wood=== Some Windows are Stuck/Painted Shut will not open. A qualified contractor is recommended to evaluate and estimate repairs
7. Stairs (Interior): Wood stairs with wood handrails=== Spaced to far apart for safety. Spacing more than 4 inches apart could allow a small adult, child, or pet to fall through, A qualified contractor is recommend to evaluate and estimate repairs



Plumbing

8. Attic Water Heater Water Heater Operation: Functional at time of inspection=== (Typical life span for gas water heater is 5 to 12 years), We do not give quotes or determine the life span for water heaters, Expansion tanks are recommended according to today's standards



Repair/Replace Summary

Roof

1. Material: Architectural Shingle=== Sheathing is damaged under shingles (SEE ATTIC), A qualified roofing contractor is recommended to evaluate and estimate repairs, We do not give quotes or determine the life span for roofing material
2. Plumbing Vents: PVC=== Loose/damaged boot, A licensed contractor is recommended to evaluate and estimate repairs

REAR



Exterior

3. Exterior Electric Outlets: 110 VAC GFCI=== Loose/missing/damaged cover, A licensed electrician is recommended to evaluate and estimate repair, Functional at the time of the inspection
4. Hose Bibs: Functional at the time of the inspection, Water pressure is recommended to be at 40-80 psi=== Water pressure is 120 PSI, Excessive pressure noted, A licensed plumber is recommended to evaluate and estimate repairs



REAR



120 PSI

HVAC - 1ST FLOOR

5. Condensate Removal: PVC=== Drain line is draining under the house, A qualified HVAC technician is recommended to evaluate and estimate repairs



Repair/Replace Summary (Continued)

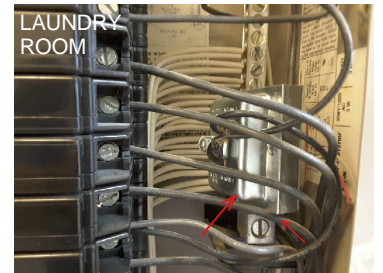
HVAC - 2ND FLOOR

6. Condensate Removal: PVC=== Drain pain has rusted and full of water (SAFETY SWITCH IS NOT ALLOWING THE UNIT TO STAY ON), Drain line may be clogged, Insulation needed so condensation does not occur, A qualified HVAC technician is recommended to evaluate and estimate repairs



Electrical

7. Outside, Laundry Room Electric Panel Manufacturer: Cutler-Hammer, Cutler-Hammer=== The doorbell transformer is not recommended in panel (RUBBING WIRE), A licensed electrician is recommended to evaluate and estimate repairs
8. Outside, Laundry Room Electric Panel Panel Type: Breakers=== Double taps are present at breakers. These circuits need to be moved to their own circuit breaker and cannot share a breaker. It is recommended that a qualified electrician inspect the new circuits and properly connect the new circuits to an individual breaker for each circuit



Appliances

9. Cooking Appliances: Whirlpool=== Burner inoperative, A qualified contractor is recommended to evaluate and estimate repairs -- Note: Stove is missing Anti-tipping bracket - According to today's standards Anti-tipping bracket should be installed



Repair/Replace Summary (Continued)

Fireplace/Wood Stove

10. Living Room Fireplace Fireplace Construction: Brick=== Gas logs would not ignite at the time of inspection, A qualified contractor is recommended to evaluate and estimate repairs, Fireplace and components need cleaning and inspection prior to use



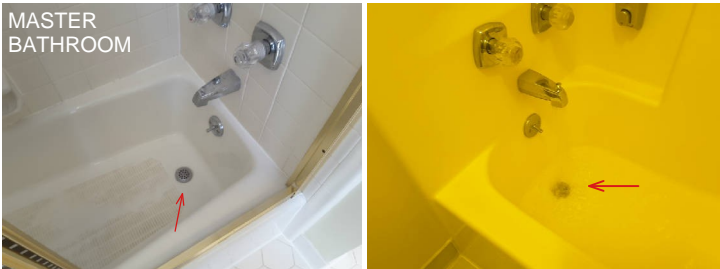
Attic

11. Sheathing: Plywood=== Water damage present, Was not wet at the time of inspection, A qualified roofing contractor is recommended to evaluate and estimate repairs



Plumbing

12. Water Supply/Distribution/Fixtures: Copper=== Missing or faulty drain stopper (CHECK ALL BATHROOMS), A licensed plumber is recommended to evaluate and estimate repairs



Crawl Space

13. Moisture Penetration: Moisture Observed=== Wet/muddy in areas, Condensation drain line is leaking under the house, A qualified contractor is recommended to evaluate and estimate repairs

Crawl Space (Continued)

Moisture Penetration: (continued)



14. Vapor Barrier: Plastic=== Damaged/Torn Moisture/Vapor Barrier, Missing in areas, A qualified contractor is recommended to evaluate and estimate repairs



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Definitions

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General Information

Property Information

Property Address 123 Any St
City Simpsonville State SC Zip 29681

Client Information

Client Name John and Jane Doe
Client Address 123 Any St
City Simpsonville State SC Zip 29681
Phone (864)555-1234

Inspection Company

Inspector Name Bradley Wilburn
Company Name Carolina Quality Home Inspection
Address 416 Lakeview Dr
City Laurens State SC Zip 29360
Phone 864-684-2475
E-Mail bswilburn67@gmail.com
Inspector License Number RBI.48751

General Information (Continued)

Conditions

Others Present Buyer, Pest Control Inspector Property Occupied Vacant-Supra
Inspection Date 06/19/2018
Inspected Older than 25 Years

This home is older than 25 years and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes in older homes there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection. Homes built prior to 1980 may contain asbestos, it is recommend that any areas to be remodeled/removed be tested to determine if it is safe. Asbestos can only be determined with a special microscope.

Electric On Yes
Gas/Oil On Yes
Water On Yes
Water Test No
Radon Test Yes
Air Quality Test No
Rain in the last 3 days No
Temperature 75-85
Weather Sunny Soil Conditions Dry
Building Type Single family Estimated Age 1990
Sewage Disposal Public How Verified Visual Inspection, The inside of sewage disposal systems is not

General Information (Continued)

Sewage Disposal (continued)

part of this inspection

Water Source Public How Verified Visual Inspection

Roof

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestor.

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1. Method of Inspection: Ground level, Ladder at eaves

2. Inspected Unable to Inspect: 20%=== Limited Access due to: Height of roof

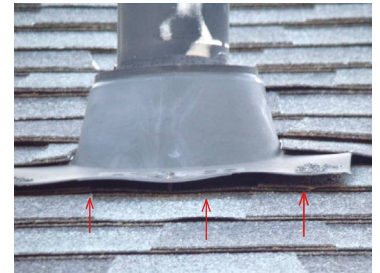
3. Inspected, Repair/Replace Material: Architectural Shingle=== Sheathing is damaged under shingles (SEE ATTIC), A qualified roofing contractor is recommended to evaluate and estimate repairs, We do not give quotes or determine the life span for roofing material



4. Inspected Flashing: Aluminum

Roof (Continued)

5. Inspected, Repair/Replace Plumbing Vents: PVC=== Loose/damaged boot, A licensed contractor is recommended to evaluate and estimate repairs



6. Inspected Gutters: Aluminum
7. Inspected Downspouts: Aluminum
8. Inspected Chimney: Brick
9. Inspected Flue/Flue Cap: Mortar/Clay, Unable to view due to height
10. Inspected Chimney Flashing: Aluminum

Grounds

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1. Inspected Driveway: Concrete
2. Inspected Walks: Concrete, Brick
3. Inspected, Maintenance/Cosmetic Vegetation: Shrubs/Trees===

Trees/vegetation in contact with house should be removed, A Qualified landscaping specialist/tree company is recommended to evaluate and estimate repairs



Grounds (Continued)

4. Inspected Grading: Minor slope

Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

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- 1. Inspected Siding Type: Brick veneer, Vinyl siding
- 2. Inspected, Maintenance/Cosmetic Soffits/Fascia/Trim: Vinyl, Aluminum, Wood=== Keep painted and sealed to prevent further damage
- 3. Inspected, Maintenance/Cosmetic Windows: Aluminum, Wood, Vinyl=== Keep painted and sealed to

Exterior (Continued)

Windows: (continued)

prevent further damage

4. Inspected

Screens: Vinyl mesh

5. Inspected

Steps: Brick, Wood

6. Inspected, Safety

Railings: Wood=== Handrails missing (Safety), Spacing more than 4 inches apart could allow an adult, small child or pet to fall through, A qualified contractor is recommended to evaluate and estimate repairs



7. Inspected

Deck: Treated wood

8. Inspected

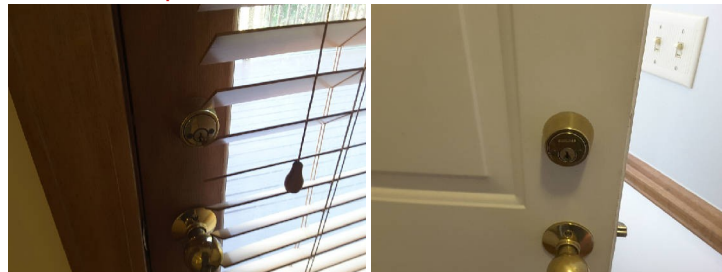
Porch: Concrete

9. Inspected

Columns: Aluminum

10. Inspected, Safety

Exterior Doors: Wood, Vinyl Sliding=== Exterior doors should not have deadbolt key locks on inside, A qualified contractor is recommended to evaluate and estimate repairs



11. Inspected

Door Bell: Hard wired=== Functional at the time of the inspection

12. Inspected, Repair/Replace Exterior Electric Outlets: 110 VAC GFCI=== Loose/missing/damaged cover, A licensed electrician is recommended to evaluate and estimate repair, Functional at the time of the inspection



13. Inspected

Exterior Lighting: Surface mount=== Functional at the time of the inspection

Exterior (Continued)

14. Inspected, Repair/Replace Hose Bibs: Functional at the time of the inspection, Water pressure is recommended to be at 40-80 psi=== Water pressure is 120 PSI, Excessive pressure noted, A licensed plumber is recommended to evaluate and estimate repairs



15. Inspected Ventilation: Vents

HVAC - 1ST FLOOR

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily open-able access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

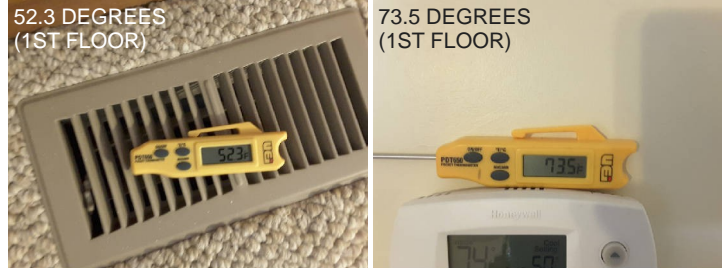
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HVAC - 1ST FLOOR (Continued)

1. Inspected

A/C System Operation: Air Condition System only, Functional at the time of inspection=== Temperature differential should be between 14 and 25 degrees, (Typical life span for Air Condition only system is 12 to 15 Years), We do not give quotes or determine the life span for HVAC equipment



2. Inspected, Repair/Replace Condensate Removal: PVC=== Drain line is draining under the house, A qualified HVAC technician is recommended to evaluate and estimate repairs



3. Inspected

Exterior Unit: Pad mounted

4. Manufacturer: Goodman

5. Area Served: 1st floor Approximate Age: 2010

6. Energy Source: Electricity Temperature Differential: 21

7. Inspected Refrigerant Lines: Serviceable condition

8. Inspected Electrical Disconnect: Pull out Disconnect

Crawl Space Heating System

9. Inspected

Heating System Operation: Force Air Furnace, Appears functional at the time of inspection=== (Typical life span for force air furnace is 15 to 20 Years), We do not give quotes or determine the life span for HVAC equipment



10. Manufacturer: Goodman

11. Area Served: 1st floor Approximate Age: 2010

12. Fuel Type: Natural gas

13. Inspected Flue Pipe: PVC

14. Inspected Thermostats: Digital

HVAC - 2ND FLOOR

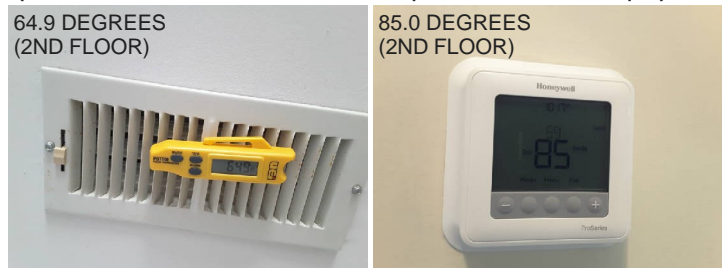
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1. Inspected

A/C System Operation: Air Condition System only, Functional at the time of inspection=== Temperature differential should be between 14 and 25 degrees, (Typical life span for Air Condition only system is 12 to 15 Years), We do not give quotes or determine the life span for HVAC equipment



HVAC - 2ND FLOOR (Continued)

2. Inspected, Repair/Replace Condensate Removal: PVC=== Drain pain has rusted and full of water (SAFETY SWITCH IS NOT ALLOWING THE UNIT TO STAY ON), Drain line may be clogged, Insulation needed so condensation does not occur, A qualified HVAC technician is recommended to evaluate and estimate repairs



3. Inspected Exterior Unit: Pad mounted
4. Manufacturer: Armstrong
5. Area Served: 2nd floor Approximate Age: 2017
6. Energy Source: Electricity Temperature Differential: 20
7. Inspected Refrigerant Lines: Serviceable condition
8. Inspected Electrical Disconnect: Pull out Disconnect

Attic Heating System

9. Inspected Heating System Operation: Force Air Furnace, Appears functional at the time of inspection=== (Typical life span for force air furnace is 15 to 20 Years), We do not give quotes or determine the life span for HVAC equipment



10. Manufacturer: Armstrong
11. Area Served: 2nd floor Approximate Age: 2017
12. Fuel Type: Natural gas
13. Inspected Flue Pipe: Double wall
14. Inspected Thermostats: Digital

Garage/Carport

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1. Type of Structure: Attached Car Spaces: 2

- | | |
|--------------|--|
| 2. Inspected | Ceiling: Sheetrock |
| 3. Inspected | Walls: Sheetrock=== Inspection does not cover any damage concealed by personal items, rugs, carpeting, wall paneling, furniture and insulation |
| 4. Inspected | Floor/Foundation: Poured concrete slab |
| 5. Inspected | Garage Doors: Metal |
| 6. Inspected | Garage Door Opener: Chamberlain=== Functional at the time of the inspection |
| 7. Inspected | Service Doors: Metal |

Electrical

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool,

Electrical (Continued)

probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

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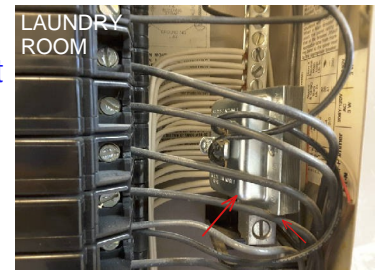
1. Inspected Service Entrance: Under ground utilities

2. Service Size Amps: 200 Volts: 220-240 VAC

3. Inspected Ground: Rod in ground only

Outside, Laundry Room Electric Panel

4. Inspected, Repair/Replace Manufacturer: Cutler-Hammer,
Cutler-Hammer=== **The doorbell transformer is not recommended in panel (RUBBING WIRE), A licensed electrician is recommended to evaluate and estimate repairs**



5. Maximum Capacity: 200 Amps

6. Inspected Main Breaker Size: No single main breaker exists=== No main breaker

Electrical (Continued)

7. Inspected, Repair/Replace Panel Type: Breakers=== Double taps are present at breakers. These circuits need to be moved to their own circuit breaker and cannot share a breaker. It is recommended that a qualified electrician inspect the new circuits and properly connect the new circuits to an individual breaker for each circuit
8. Inspected AFCI: None Present=== AFCI are recommended according to today's standards
9. Is the panel bonded? Yes
10. Inspected Conductor Type: Romex (Non-metallic sheathed cable)
11. Inspected, Safety GFCI: GFCI reset in breaker box, None present=== GFCI not present Kitchen, Recommended GFCI's within 6 feet of water, GFCI's are recommended according to today's standards, A licensed electrician is recommended to evaluate and estimate repairs, Bathroom GFCI are Functional at the time of inspection
12. Inspected, Maintenance/Cosmetic 120 VAC Outlets/Switches: Grounded=
=All outlets run off switch in Living room,
Functional at the time of inspection
13. Inspected Interior Lighting: 110 VAC=== Functional at the time of inspection
14. Inspected 240 VAC Outlets: Functional at the time of inspection
15. Inspected, Safety Smoke Detectors: Battery operated=== The smoke detector are needed in the bedrooms. Without a working smoke detector in your home you have no first alert to a possible fire, Test all smoke detectors/batteries prior to moving in
16. Inspected, Safety Carbon Monoxide Detectors: None present=== There is no carbon monoxide detector found in home. It is recommended that one be installed according to the manufacturer's instructions.



Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

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Kitchen

- Inspected, Repair/Replace **Cooking Appliances:** Whirlpool=== **Burner inoperative, A qualified contractor is recommended to evaluate and estimate repairs -- Note: Stove is missing Anti-tipping bracket - According to today's standards Anti-tipping bracket should be installed**



Appliances (Continued)

Cooking Appliances: (continued)



2. Inspected

Exhaust/Range Hood: Re-circulating===
Functional at the time of inspection



3. None Present

Microwave:

4. Inspected

Dishwasher: Whirlpool=== Functional at the time of
inspection



5. Inspected

Disposal: Tian=== Functional at the time of inspection

6. None Present

Refrigerator:

7. Inspected

Dryer Vent: Metal

Other Appliances

Interior

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.




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Not Inspected	Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.
None Present	Item not present or not found.
Maintenance/Cosmetic	Maintenance/cosmetic issues are reminders of items that need to be maintained during the life of your home or are issue that are considered cosmetic.
Safety	Item is a safety issue and may not be fully functional and requires repair or servicing.
Repair/Replace	Repair or replacing items may not be fully functional and requires replacing/repair or servicing.
Re-inspected	Re-inspected on date different than the original inspection

General Interior

- | | |
|--------------|--|
| 1. Inspected | Kitchen Cabinets: Wood |
| 2. Inspected | Kitchen Counter Tops: Granite |
| 3. Inspected | Bathroom Cabinets: Wood |
| 4. Inspected | Bathroom Counter Tops: Granite |
| 5. Inspected | Ventilation: Fan Only=== Functional at the time of inspection |
| 6. Inspected | Ceilings: Sheetrock |
| 7. Inspected | Walls: Sheetrock=== Inspection does not cover any damage concealed by personal items, rugs, carpeting, wall paneling, furniture and insulation |

Interior (Continued)

- | | | |
|-------------------------------------|--|--|
| 8. Inspected, Safety | Windows: Double Pane Wood=== Some Windows are Stuck/Painted Shut will not open. A qualified contractor is recommended to evaluate and estimate repairs |  |
| 9. Inspected | Floors: Hardwood, Tile, Carpet=== Inspection does not cover any damage concealed by floor covering material, carpeting, rugs, personal items, or furniture | |
| 10. Inspected, Maintenance/Cosmetic | DOORS: Hollow wood=== Align/adjust doors to close properly |  |
| 11. Inspected, Safety | Stairs (Interior): Wood stairs with wood handrails=== Spaced to far apart for safety. Spacing more than 4 inches apart could allow a small adult, child, or pet to fall through, A qualified contractor is recommend to evaluate and estimate repairs |  |
| 12. Inspected | HVAC Source: Heating system register | |

Fireplace/Wood Stove

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Fireplace/Wood Stove (Continued)

Re-inspected

Re-inspected on date different than the original inspection

Living Room Fireplace

1. Inspected, Repair/Replace Fireplace Construction: Brick=== Gas logs would not ignite at the time of inspection, A qualified contractor is recommended to evaluate and estimate repairs, Fireplace and components need cleaning and inspection prior to use



2. Type: Gas log
3. Inspected Smoke Chamber: Brick
4. Inspected Flue: Tile
5. Inspected Damper: Metal
6. Inspected Hearth: Raised

Attic

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

Attic (Continued)

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Re-inspected	Re-inspected on date different than the original inspection

1. Method of Inspection: In the attic

2. Inspected Access: Pull down Staircase, Doorway

3. Inspected Unable to Inspect: 25%=== Limited access due to: Safety and footing, Depth of insulation, Blocked by duct work

4. Inspected Roof Framing: 2x6 Rafter

5. Inspected, Repair/Replace Sheathing: Plywood=== Water damage present, Was not wet at the time of inspection, A qualified roofing contractor is recommended to evaluate and estimate repairs



6. Inspected Ventilation: Soffit vents, Ridge vents, Gable vents

7. Inspected Insulation: Blown in, Fiberglass

8. Inspected Insulation Depth: 10" or better

9. Inspected Attic Fan: Direct drive=== The fan is thermostatic control did not come on during the inspection

10. Inspected Wiring/Lighting: 110 VAC lighting circuit

11. Inspected Bathroom Fan Venting: Electric fan

12. Inspected Exposed Ductwork: Metal, Insulated flex

Plumbing

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

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Interior

-
- | | |
|--------------|---------------------------------|
| 1. Inspected | Service Line: Copper |
| 2. Inspected | Main Water Shutoff: At the Road |
| 3. Inspected | Water Lines: Copper |
| 4. Inspected | Drain/Waste/Vent System: PVC |

Plumbing (Continued)

5. Inspected, Repair/Replace Water Supply/Distribution/Fixtures: Copper=== Missing or faulty drain stopper (CHECK ALL BATHROOMS), A licensed plumber is recommended to evaluate and estimate repairs



6. Inspected Toilets: Functional
7. Inspected, Maintenance/Cosmetic Gas Meter: Exterior surface mount at side of home=== Gas meter should be grounded according to today's standard
8. Inspected Main Gas Valve: Located at gas meter
9. Inspected Gas Service Line: Black Pipe
10. Inspected Washer Hose Bib & Drain: Gate valves, 2" Drain

Attic Water Heater

11. Inspected, Safety Water Heater Operation: Functional at time of inspection=== (Typical life span for gas water heater is 5 to 12 years), We do not give quotes or determine the life span for water heaters, Expansion tanks are recommended according to today's standards



12. Manufacturer: A.O. Smith
13. Type: Natural gas Capacity: 40 Gal.
14. Approximate Age: 2014 Area Served: Whole house
15. Inspected Flue Pipe: Double wall
16. Inspected TPRV and Drain Tube: Copper

Crawl Space

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Re-inspected	Re-inspected on date different than the original inspection

1. Method of Inspection: In the crawl space
2. Inspected Unable to Inspect: 30%=== Limited Access due to: Blocked by duct work, Insulation, Plumbing
3. Inspected Access: Wood door
4. Inspected, Repair/Replace Moisture Penetration: Moisture Observed=== **Wet/muddy in areas, Condensation drain line is leaking under the house, A qualified contractor is recommended to evaluate and estimate repairs**



Crawl Space (Continued)

5. Inspected, Maintenance/Cosmetic **Insulation: Fiberglass=== Insulation that has fallen to the ground or has become damp from the ground or from condensation usually needs to be replaced with new insulation, A qualified contractor is recommended to evaluate and estimate repairs**



6. Inspected, Repair/Replace **Vapor Barrier: Plastic=== Damaged/Torn Moisture/Vapor Barrier, Missing in areas, A qualified contractor is recommended to evaluate and estimate repairs**



7. Inspected Exposed Ductwork: Metal, Insulated flex
8. Inspected Foundation: Brick
9. Inspected Beams/Seal Plate: Bonded wood
10. Inspected Joists/Trusses: 2x8
11. Inspected Columns/Piers: Masonry Block
12. Inspected Subfloor: Plywood=== Inspection does not cover any damage concealed by insulation or ductwork
13. Inspected Electrical: 220 vac, 120 vac

Final Comments

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.